

B-3150 - B-3159
801-833 William St. (East side)
Baltimore, Md.
Private access

1850-1857

The majority of the houses lining this side of the 800 block of William St. are three story, two or three bay wide brick houses with gable roofs. Like the similar houses across William St. and around the corner on Warren Ave., these houses were built for a middle class market and are larger and more spacious than the average two story plus attic house built for the working class inhabitants of the neighborhood. 801 William St. is now a corner grocery store and the original gable roof has been replaced by a shed roof. 803 William St. is one of only two Classical-Revival style, bow-fronted brick houses with brownstone trim in the area, the other being 804 William St., directly across the street. 811-817 William St. are three story, two bay wide shed-roofed houses, built as a unit in 1857, an early use of the shed roof in this area. The row of houses at 819-833 William St. was built by Nicholas Popplein, at the time the proprietor of a chemical manufactory at the foot of Cross St. and who later became an extremely wealthy resident of Eutaw Place and important chemical, paint, and varnish manufacturer.

MARYLAND HISTORICAL TRUST

B-3150
MAGI 0431502411

INVENTORY FORM FOR STATE HISTORIC SITES SURVEY

1 NAME

HISTORIC

AND/OR COMMON

2 LOCATION

STREET & NUMBER

801 William St.

CITY, TOWN

Baltimore

CONGRESSIONAL DISTRICT

— VICINITY OF

STATE

Maryland

COUNTY

3 CLASSIFICATION

CATEGORY

— DISTRICT
☒ BUILDING(S)
— STRUCTURE
— SITE
— OBJECT

OWNERSHIP

— PUBLIC
☒ PRIVATE
— BOTH

PUBLIC ACQUISITION

— IN PROCESS
— BEING CONSIDERED

STATUS

☒ OCCUPIED
— UNOCCUPIED
— WORK IN PROGRESS
ACCESSIBLE
☒ YES: RESTRICTED
— YES: UNRESTRICTED
— NO

PRESENT USE

— AGRICULTURE — MUSEUM
☒ COMMERCIAL — PARK
— EDUCATIONAL ☒ PRIVATE RESIDENCE
— ENTERTAINMENT — RELIGIOUS
— GOVERNMENT — SCIENTIFIC
— INDUSTRIAL — TRANSPORTATION
— MILITARY — OTHER:

4 OWNER OF PROPERTY

NAME

Telephone #:

STREET & NUMBER

CITY, TOWN

— VICINITY OF

STATE, zip code

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,
REGISTRY OF DEEDS, ETC. Records Office Room 601

Liber #:

Folio #:

STREET & NUMBER

Baltimore City Courthouse

CITY, TOWN

Baltimore

STATE

Maryland 21202

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

DATE

— FEDERAL — STATE — COUNTY — LOCAL

DEPOSITORY FOR
SURVEY RECORDS

CITY, TOWN

STATE

7 DESCRIPTION

CONDITION

- | | |
|--|---------------------------------------|
| <input type="checkbox"/> EXCELLENT | <input type="checkbox"/> DETERIORATED |
| <input checked="" type="checkbox"/> GOOD | <input type="checkbox"/> RUINS |
| <input type="checkbox"/> FAIR | <input type="checkbox"/> UNEXPOSED |

CHECK ONE

- ☐ UNALTERED
☒ ALTERED

CHECK ONE

- ☒ ORIGINAL SITE
☐ MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

This three story, three bay brick house with shed roof represents an enlargement of the original gable roofed house that was built on this site in the late 1840's. The house has been covered with formstone and the first floor area converted into a grocery store.

The house is three stories in height, 20' wide, and occupies a lot 80' deep. The house is located on the south-east corner of William and Montgomery Streets. The main house is four bays deep and there is a two story high, two bay deep rear addition that extends along Montgomery St. The house is constructed in running bond but the upper floors have been covered with formstone and the first floor facade has been re-faced with new common bond brickwork. The shed roof has no cornice. There is a double hooded chimney located along the south side of the front section of the house.

Although the original treatment of the door and window lintels and sills on the William St. facade has been hidden by the formstone and new brick covering, it is apparent that all of the openings originally has splayed brick lintels and stone sills, as do the window openings on the Montgomery St. facade of the house. The second and third story window openings on both facades of the house are filled with 1/1 double hung sash. The first floor area has been converted into a modern store-front with centrally located, wide glass and panel door set beneath a wide single light transom and flanked by two new plate glass windows set in the new brick facade. The side entrance on the Montgomery St. facade has a late Victorian panel door set beneath an Italianate, heavy, arched wooden molding. This entrance is reached by two stone steps.

8 SIGNIFICANCE

PERIOD		AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW				
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION		
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE		
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE		
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN		
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER		
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION		
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)		
		<input type="checkbox"/> INVENTION				

SPECIFIC DATES c. 1849-1851

BUILDER/ARCHITECT Isaac Tyson

STATEMENT OF SIGNIFICANCE

This house, although severely altered from its original appearance, is representative of a large group of such houses built in the 1840's and 1850's in this particular section of Federal Hill to accomodate the rising number of middle-class residents in the area--men who owned small businesses or who had prospered at the local ship-building or glass-making trades. In addition to the full three story height, these houses are generally larger in overall scale than the type of house built expressly for working class residents. One of the first owners of this house, a John S. Brown, operated his own shipyard at the corner of Hughes and Johnson Sts.¹

The house, along with its neighbors extending south to 819 William St., was built by Isaac Tyson, an outside investor who was a member of a family firm of chemical manufacturers.² As originally built, this house probably closely resembled 809 William St. See under 809 William St. for further details.

¹ Baltimore City Directory, 1851, 1855-56

² Ibid., 1855-56

9 MAJOR BIBLIOGRAPHICAL REFERENCES

CONTINUE ON SEPARATE SHEET IF NECESSARY

10 GEOGRAPHICAL DATAACREAGE OF NOMINATED PROPERTY 20' x 80'

VERBAL BOUNDARY DESCRIPTION

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE

COUNTY

STATE

COUNTY

11 FORM PREPARED BY

NAME / TITLE

M.E. Hayward / Historic Sites Surveyor

ORGANIZATION

DATE

Maryland Historical Trust / Struever Bros. & Eccles5/79

STREET & NUMBER

TELEPHONE

1745 Circle Rd.

CITY OR TOWN

STATE

RuxtonMaryland 21204

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature, to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 Supplement.

The Survey and Inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

RETURN TO: Maryland Historical Trust
The Shaw House, 21 State Circle
Annapolis, Maryland 21401
(301) 267-1438

NATIONAL PARK SERVICE
Washington D.C. 20240HISTORIC PRESERVATION CERTIFICATION
APPLICATION — PART 2MARYLAND HISTORICAL
TRUST

Instructions: Applicant should read the instructions carefully before completing application. No Certification may be made unless a completed application form has been received. Use type-
writer or print clearly in dark ink to complete the application form. If additional space is needed to complete Part 2 attach additional blank sheets. Part 2 of this application may be completed and
sent to the appropriate State Historic Preservation Officer at any time during the year.

Part 2 DESCRIPTION OF REHABILITATION

1. NAME OF PROPERTY:

Address of property: Street 801 William StreetCity Baltimore County _____ State Maryland Zip Code 21230If located in National Register historic district, local or State designated district, specify Federal Hill National Historic District

2. DATA ON EXISTING STRUCTURE:

Date of construction: Circa 1840 Existing floor area 2,400 sq feetOriginal use: Grocery Store and one dwelling unitType of construction: Masonry Bearing Walls, wood floor joist and roof rafters

3. DATA ON REHABILITATION PROJECT:

Project starting date (est.): 1/1/84 Project completion date (est.): September 1, 1984Estimated cost of rehabilitation: \$145,000.00 Proposed use: Two family dwellingNumber of housing units to be created (if applicable): twoHas the property received Federal or State financial assistance? ☐ yes ☒ no

If yes, specify source: _____

Are architectural plans and specifications available for review? ☐ yes ☐ noArchitect's or developer's name and address: Robert R. Gisriel, "Rehab Architecture"6 East Montgomery St., Baltimore, Maryland 21230Telephone Number: (301) 727-8624

4. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK—includes site work, new construction, alterations, etc. Complete blocks below.

NUMBER

1

Architectural feature Front Brick WallApproximate date of feature 1840

Describe existing feature

After removal of formstone, front wall is seen as pulling away from the building, see Engineers report. Damaged beyond repair, the wall will have to be torn down and rebuilt. The first floor was converted to a modern store front, see State Historic Site Survey.

Describe work and impact on existing features

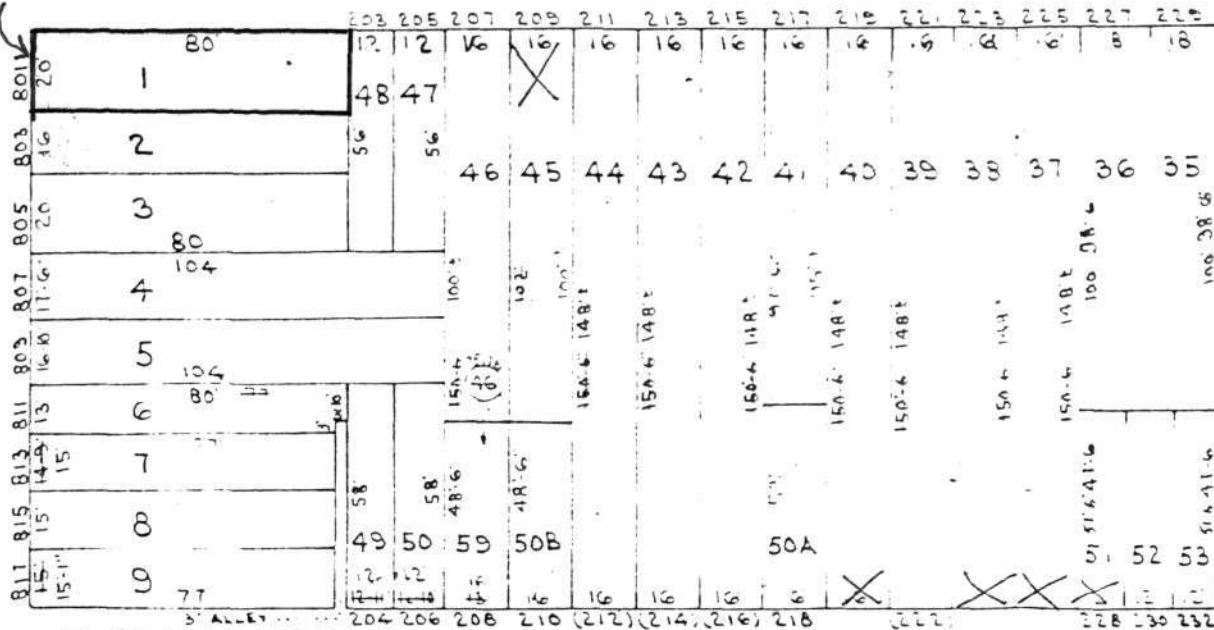
Rebuild front wall using same brick and old brick to match existing. The first floor is to be rebuilt as it was originally built to resemble 809 William Street, see State Historic Site Survey

Photo no. 1 & 2 Drawing no. A-1

E. MONTGOMERY

ST.

B-3150



AVE.

BATTERY

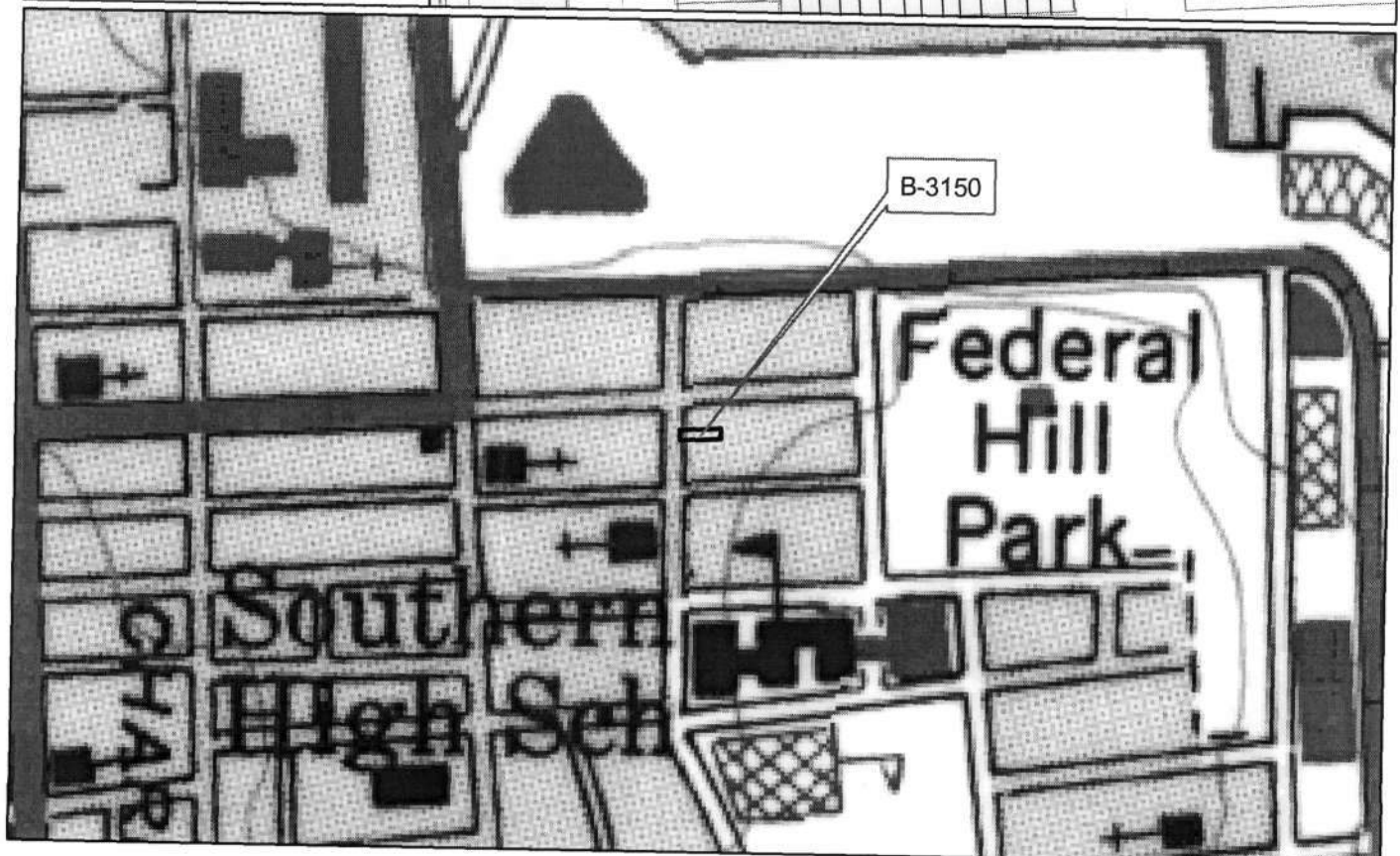
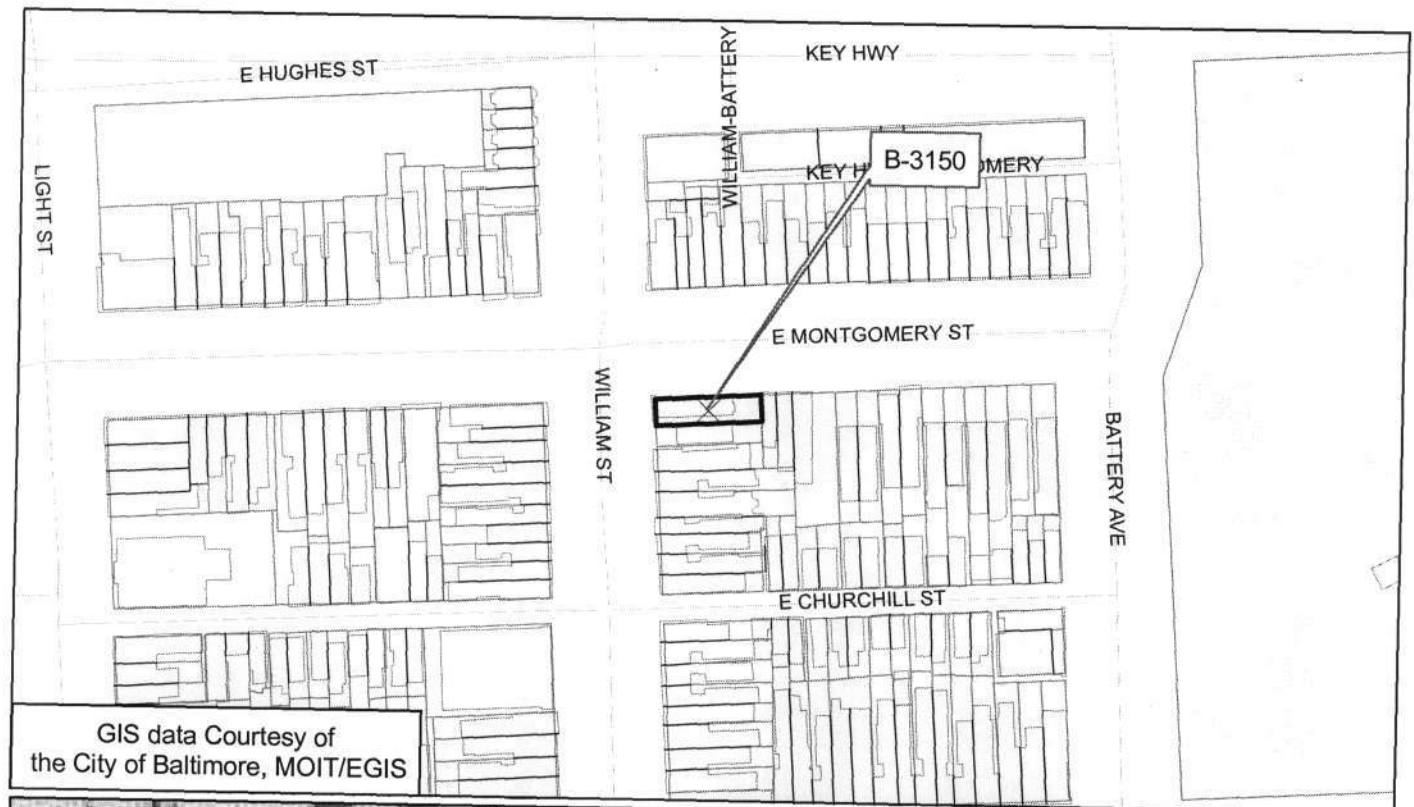
WARREN

AVE.

937

B-3150

B-3150
801 William Street
Block 0907 Lot 001
Baltimore City
Baltimore East Quad.





B-3150 801 William St.

M.E.H. 6/79

West elevation